

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 6 October 2015	Classification For General Release	
Report of Director of Planning		Wards involved Abbey Road	
Subject of Report	27 Norfolk Road, London, NW8 6AU		
Proposal	Alterations to boundary walls fronting Norfolk Road and Woronzow Road, including partial lowering of walls and installation trellis to the top of the whole of the boundary wall facing Norfolk Road and part of the boundary wall facing Woronzow Road. Retention of trellis to boundary wall with No.28 Norfolk Road. (Partially retrospective application).		
Agent	Montagu Evans LLP		
On behalf of	Mr Jonathan Stein		
Registered Number	15/06790/LBC	TP / PP No	TP/1218
Date of Application	24.07.2015	Date amended/ completed	24.07.2015
Category of Application	Other		
Historic Building Grade	Grade II Listed Building		
Conservation Area	St John's Wood		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

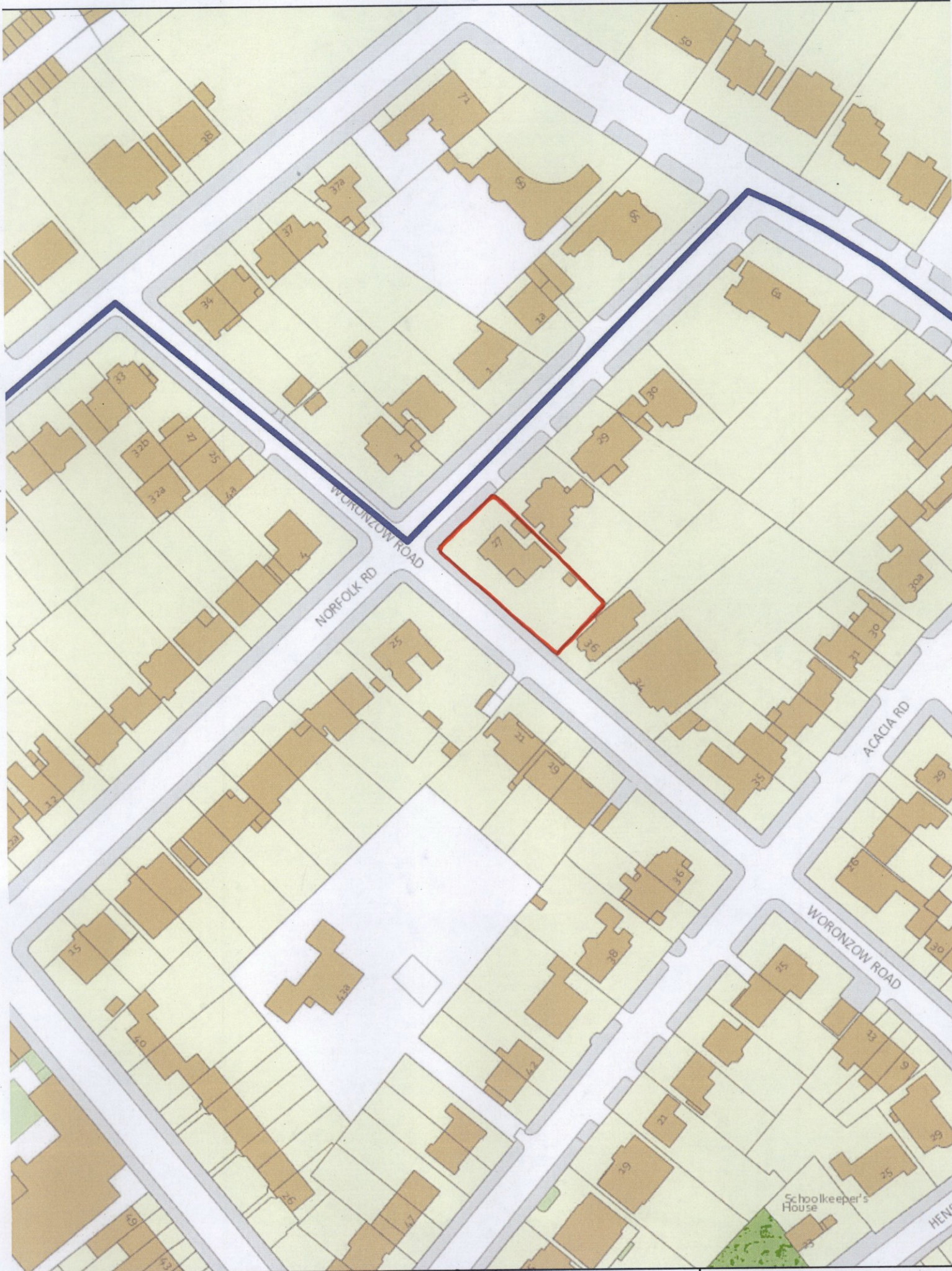
1. RECOMMENDATION

1. For Committee's consideration:

(a) Does the Committee consider that this revised application for alterations to the listed boundary walls has overcome their reason for refusal for the previous listed building consent application.

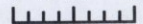
2. Subject to 1 above, grant conditional listed building consent.

3. Agree the reasons for granting listed building consent as set out in Informative 1 of the draft decision letter.



N

0 5 10 20 Metres





27 NORFOLK ROAD, NW8

2. SUMMARY

The Planning Applications Committee on 30 June 2015 resolved to refuse listed building consent for alterations to the listed boundary walls of this listed house within the St John's Wood Conservation Area. This latest application seeks to overcome this reason for refusal. It is now proposed to lower the height of the boundary walls along Norfolk Road and part of Woronzow Road to a consistent height of approximately 1.64 m and to add a 320mm high trellis above.

The key issue is the impact on the special architectural and historic interest of this listed wall and house.

Whilst it is recognised that Committee expressed the view that the boundary walls should revert back to how it was when first listed (i.e. low brick walls with timber fencing above), this latest proposal is now roughly comparable to two other high boundary walls to the other corner houses and this proposal does include the reinstatement of the missing rendered panel on the corner. Officers consider this latest scheme is now acceptable in historic building terms and Committee's views are sought.

3. CONSULTATIONS

LONDON BOROUGH OF CAMDEN

No objections.

ST JOHN'S WOOD SOCIETY

Although regret the retention of the trellis, welcome the reduction in the height of the boundary walls to Norfolk Road and Woronzow Road.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 1; Total No. of Replies: 0.

Any response received will be reported verbally to Members.

ADVERTISEMENT/SITE NOTICE: Yes

4. BACKGROUND INFORMATION

4.1 The Application Site

No. 27 Norfolk Road is a Grade II listed detached villa dating from 1830 and formed part of the original development of this part of St John's Wood. It is designed in a 'cottage Orne' or 'gothic' style and is a building of some considerable character and attractiveness. The boundary wall surrounding the villa, including its gate piers, to both Norfolk Road and Woronzow Road were also separately listed at Grade II with the description describing them as 'Walls and gate piers c1830. Stock brick coped wall with stucco pyramid capped gate piers.'

The house is located within the St John's Wood Conservation Area, opposite the boundary with the London Borough of Camden.

4.2 Relevant History

30 June 2015 - The Planning Applications Committee overturned officer's recommendation for approval and refused listed building consent for alterations to the boundary wall and retention

of trellis. The Committee considered that the application would harm the special architectural and historic interest of this listed wall and enforcement action has since been instigated to seek to ensure the boundary wall reverts to how it was when it was first listed. The reason for refusal was agreed under delegated powers on 22 July 2015. A copy of the committee report and minutes, and the decision letter, are set out in the background papers.

6 June 2014 - An appeal was dismissed for the retention of the boundary wall and trellis. The Inspector found that the high boundary wall has a significant and prejudicial effect on the listed wall and piers and fail to preserve their special and architectural and historic interest. The wall in its current form fails to preserve or enhance the character or appearance of the conservation area. The Inspector took account the benefit of the removal of the former timber fence and the provision of the render panel but found that these insufficient to outweigh the harm caused.

The Inspector found that where the brickwork rises above the piers of the property and appears to cut into the capital that this has a visually awkward and disruptive appearance. He concluded that the works have a significant and prejudicial effect on the listed wall and piers and fail to preserve their special architectural and historic interest of the house and fails to preserve or enhance the character and appearance of the Conservation Area. A copy of this appeal decision is set out in the background papers.

2 August 2013 - Listed building consent was refused for the retention of a new boundary wall frontage to Norfolk Road and Woronzow Road frontages and retention of trellis between Nos. 27 and 28 Norfolk Road. The reasons for refusal were: *'Because of its height, the relationship with gate piers, the height and proportions of the rendered panel, and loss of historic fabric, the new wall would harm the character, appearance and special interest of this grade II listed building. It would also fail to maintain or improve (preserve or enhance) the character and appearance of the St John's Wood Conservation Area. This would not meet CS 24 and CS 27 of our Core Strategy that we adopted in January 2011 (as amended by the NPPF Revision submitted to the Secretary of State on 25 January 2013) and DES 1 and paras 10.108 to 10.146 of our Unitary Development Plan that we adopted in January 2007'.*

18 December 2012 – Permission and listed building consent granted for the excavation of a basement extension below the existing building and part of rear garden with an access stair adjacent to boundary with No.28 Norfolk Road to enlarge the existing dwelling house (Class C3), removal and replacement of three trees in rear garden and associated internal alterations to ground floor.

5. THE PROPOSAL

This listed building consent application seeks to address the Inspector's 2014 appeal decision and the Committee's refusal of listed building consent for the previous scheme for boundary wall alterations in June 2015. It is now proposed to remove to top part of the brick wall next to the pier with No 28 Norfolk Road and this also involves the removal of the brick above the timber gate. The remaining brick wall along Norfolk Road will be lowered to 1.84m high, although because of the changes in level along the street frontage, it will be 1.64m high adjacent the rendered panel at the junction with Woronzow Road. A new timber trellis 320mm high is proposed above the lowered brick wall.

The first section of boundary wall fronting on Woronzow Road extending up the main pedestrian gate will be lowered 1.64m high with a 320mm high timber trellis above.

The application also involves the retention of the trellis along the side garden wall between the application site at No.27 Norfolk Road and the neighbouring property at No.28 Norfolk Road, which Committee did not previously find objectionable.

No objections have been received to date. The St John's Wood Society welcomes the reduction on the height of the wall but regret the retention of the trellis.

6 DETAILED CONSIDERATIONS

6.1 Land Use

Not relevant in the determination of this listed building consent application.

6.2 Townscape and Design

Prior to works being carried out, much lower brick walls were present along the Norfolk Road and Woronzow Road boundaries with a wooden boarded fence above. The walls and gate piers were Grade II listed in 1987.

Substantial alterations were carried out to the boundary walls 17 years ago, which involved replacing the wooden fences and increasing the height of the brick walls. A rendered corner feature was added similar to the panels on the three other corner houses, although this panel has been constructed higher and with differing proportions to the other examples in the street.

Following a complaint to the Council that the alterations to the boundary walls were unauthorised, the first listed building consent application to retain the altered boundary walls was submitted in 2013. That application was refused and dismissed at appeal in 2014. A recent application to lower parts of the wall was refused at the Planning Applications Committee on 30 June 2015, with the decision issued on 22 July 2015.

This latest application seeks to reduce the height of the wall further to approximately 1.64m. A timber trellis is proposed to sit above the lowered wall, rising to a height of 1.96m. This proposal also involves the removal of the brick above the timber gate fronting onto Norfolk Road and lowering the wall so it sits below the coping stone of the gate pier.

The boundary wall previously in place prior to the unauthorised works was an attractive structure, forming a low height boundary wall characteristic of the conservation area when originally developed in the 19th Century. Such low height boundary walls are still important features of the character of the conservation area, allowing views into the open and attractive landscaped garden grounds surrounding these villa buildings, however in this particular case there is considered some grounds for a divergence of the normal policy principle that low height walls should be retained.

This building forms part of an unusual and distinctive grouping of gothic style buildings which flank each corner to this junction of Norfolk Road and Woronzow Road. The other three buildings to this road junction already have large curved decorative panels to their corners which appear at least historic if not original, and in that context the creation of a similarly scaled and detailed decorative panel to the corner of the boundary wall to No.27 Norfolk Road is considered to reinforce this local characteristic feature and is therefore considered acceptable.

Two of the other gothic buildings facing onto this road junction already also have relatively substantial brick boundary walls facing onto the street, though it is noted that the previous listed building consent application for the retention of the existing high boundary wall on site at No.27 Norfolk Road was refused by Planning Applications Committee on grounds of the height of the wall erected, and that an earlier refusal was upheld at appeal.

In response to this the applicants now propose to lower the height of the existing unauthorised brick wall. The wall is to be lowered to differing degrees along its length; however, in its amended form it will be notably lower than the gate piers and coping to the decorative rendered panel, as will the short panel of trellis proposed above the height of the wall. The wall to its amended lower height now proposed in this application will be of roughly comparable height to the two other higher boundary walls facing onto this road junction, and in these particular circumstances, it is considered that the proposed height of the lowered wall and trellis are considered acceptable. Therefore the Committee's views are sought as to whether this amended scheme has now addressed their reasons for refusal of the previously submitted listed building consent application.

The trellis on top of the side garden wall between No.27 and No 28 is acceptable in historic building terms.

Should the Committee be minded to approve listed building consent, it is recommended that a number of conditions are imposed to ensure appropriate detailing of the wall and trellis.

6.3 Residential Amenity

This application raises no issues regarding the residential amenity of neighbours.

6.4 Transportation /Parking

This application raises no transportation issues.

6.5 Economic considerations

Not relevant in the determination of this listed building consent application.

6.6 Equalities and Diversities (including Access)

Not relevant in the determination of this listed building consent application.

6.7 Other UDP/ Westminster Policy Considerations

None relevant.

6.8 The London Plan

This application raises no strategic issues.

6.9 Central Government Guidance

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to

their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of this application are considered to be consistent with the NPPF unless stated otherwise.

Specific regard has been had to the advice set out in the National Planning Policy Framework (NPPF) regarding the impact of the proposal on this statutory heritage asset.

6.10 Planning Obligations

Not relevant in the determination of this listed building consent application.

6.11 Environmental Assessment, Sustainability and Biodiversity

There are a number of mature trees in the front and side gardens of this house which are either the subject of Tree Preservation Order or protected given their location inside a conservation area, but there is no evidence to suggest that the works to the boundary wall has harmed the health of these trees.

6.12 Other Matters

The Committee on 30 June 2015 requested that enforcement action be instigated to ensure that the boundary wall was reverted to how it was when it was first listed. There is a current enforcement investigation in respect of the existing boundary wall, and this investigation is currently on hold awaiting the formal determination of this latest listed building consent application.

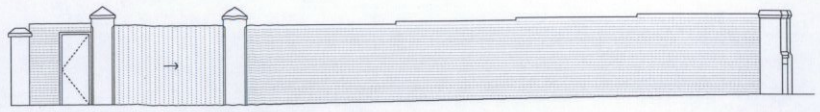
7. CONCLUSION

Committee's views are sought as to whether the revised proposals for alterations to the street boundary walls and retention of a trellis to the garden boundary wall between Nos.27 and 28 Norfolk Road are acceptable. Should the Committee resolve that the current scheme overcomes their previous concerns, it is recommended that listed building consent is granted subject to the conditions set out in the draft decision letter.

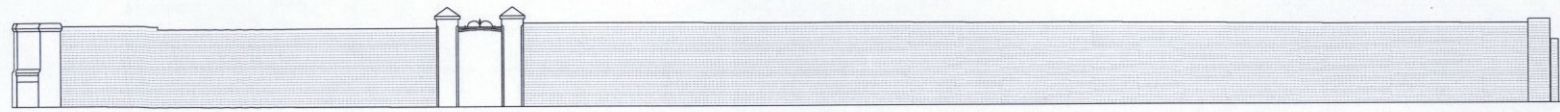
BACKGROUND PAPERS

1. Application form.
2. Letter from the London Borough of Camden dated 2 September 2015.
3. Email from the St. John's Wood Society dated 26 August 2015.
4. Copy of Committee report and minute dated 30 June 2015.
5. Copy of appeal decision dated 6 June 2014.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT OLIVER GIBSON ON 020 7641 2680 OR BY E-MAIL – ogibson@westminster.gov.uk



01 Norfolk Road Elevation - existing
Scale 1:50 @ A1 single



02 Worsnow Road Elevation - existing
Scale 1:50 @ A1 single

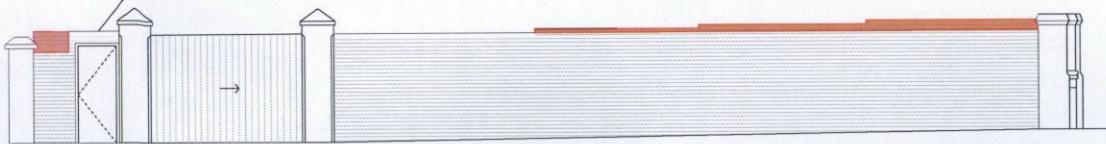


FOR PLANNING

Appeal Scheme - Dismissed .

Retained brickwork to be supported by timber trellis.

Area of wall to be removed.

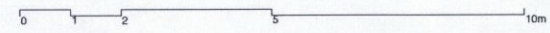


01 Norfolk Road Elevation- existing
Scale 1:50 @ A3 elongated



02 Woronzow Road Elevation- existing
Scale 1:50 @ A3 elongated

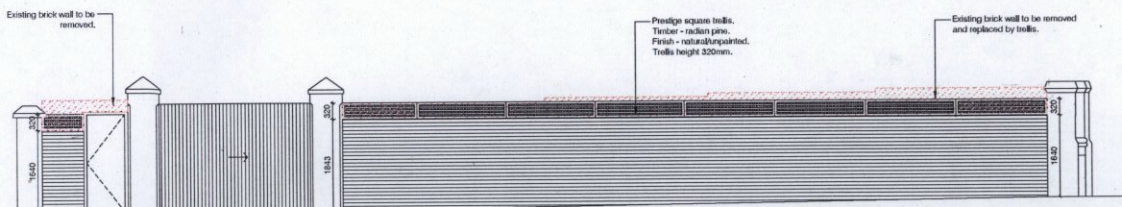
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4/2
FOR PLANNING

30 June 2015 scheme refused by Committee.

Proposed -



Area of existing brick wall to be removed

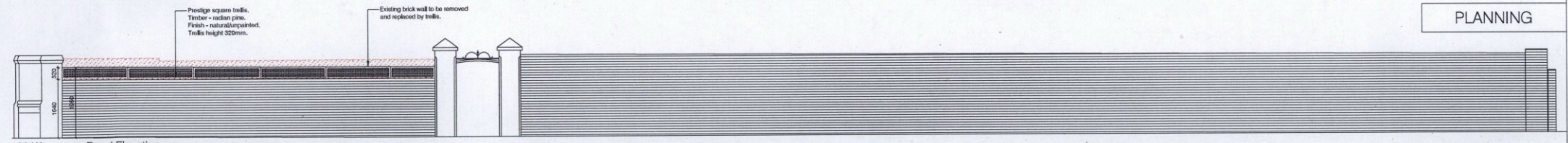
- AURIGAWOR ARCHITECTURAL SERVICES**
1. Do not scale off this drawing, use digital photographs or a 30cm scale bar to check dimensions.
 2. Do not scale off this drawing, use digital photographs or a 30cm scale bar to check dimensions.
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 4. The drawings are to be used in conjunction with consultants drawings and specifications.
 5. The drawings copyright is of AIG and they will be supplied, altered or reproduced in any way or published in any form without written permission from AIG.
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 7. The drawings are to be used in conjunction with the relevant obligations under the CCJ regulations.
 8. The drawings are to be used in conjunction with the relevant obligations under the CCJ regulations.

REVISIONS

No.	Date	Description	Drawn	Check
P1	12/07/16	ISSUED FOR PLANNING	VC	AS

01 Norfolk Road Elevation

Scale 1:50 @ A3 elongated



PLANNING

02 Woronzow Road Elevation

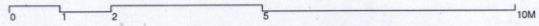
Scale 1:50 @ A3 elongated

AURIGAWOR
ARCHITECTURAL SERVICES
PROFESSIONAL DESIGNER
REGISTERED ARCHITECT

27 NORFOLK ROAD

PROPOSED ELEVATIONS

DATE	SCALE	NO.	REV.
JULY 2016	1:50 @ A3 ELONGATED	01	01
15/07/16	02	02	01
15/07/16	03	03	01



DRAFT DECISION LETTER

Address: 27 Norfolk Road, London, NW8 6AU

Proposal: Alterations to boundary walls fronting Norfolk Road and Woronzow Road, including partial lowering of walls and installation trellis to the top of the whole of the boundary wall facing Norfolk Road and part of the boundary wall facing Woronzow Road. Retention of trellis to boundary wall with No.28 Norfolk Road. (Partially retrospective application).

Plan Nos: Covering Letter dated 24 July 2015; Heritage Assessment (Incorporating Design and Access Statement) 01, 02, 025 Rev P2, 026, 032 and 419-2/P/001 A.

Case Officer: Amanda Coulson

Direct Tel. No. 020 7641 2875

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 The street facing side of the brickwork of the boundary wall fronting onto Norfolk Road and onto Woronzow Road (with the exception of the gate piers and the decorative panel to the corner of Norfolk Road and Woronzow Road) shall not be painted, rendered or otherwise covered over.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 3 All the brickwork shown to be removed on drawing 025-P2 (which accompanied this application) shall be removed within 6 months of the date of this consent.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 4 The decorative panel to the corner of Norfolk Road and Woronzow Road shall be retained in a white colour, and shall not be covered over with any form of cladding, plastic sheeting or other covering materials.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in

S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 5 Any sections of the decorative mouldings to gate piers within the site boundary or to the decorative panel to the corner of Norfolk Road and Woronzow Road removed to facilitate works to the brickwork shall be reinstated to follow the size, design, profile and materials of the existing decorative mouldings adjacent.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 6 The top course of the brickwork wall being amended to the Norfolk Road and Woronzow Road elevations shall be detailed as a brick on edge detail.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 7 The timber trellis shall be stained a dark brown or green colour

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

- 8 Prior to the installation of trellising to the wall, you must apply to us for approval of a section drawing showing the relationship of the trellising to the wall. You must not start any work on the installation of trellising until we have approved what you have sent us. You must then carry out the work according to the section drawing approved.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 of our Unitary Development Plan that we adopted in January 2007, and sections 5 and 6 of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings. (R27BC)

Informative(s):

- 1 SUMMARY OF REASONS FOR GRANTING CONDITIONAL LISTED BUILDING CONSENT - In reaching the decision to grant listed building consent with conditions, the City Council has had regard to the relevant policies in the National Planning Policy Framework March 2012, the London Plan July 2011, Westminster's City Plan: Strategic Policies adopted November 2013, and the City of Westminster Unitary Development Plan adopted January 2007, as well as relevant supplementary planning guidance, representations received and all other material considerations.

The City Council decided that the proposed works would not harm the character of this building of special architectural or historic interest.

In reaching this decision the following were of particular relevance:
S25 and S28 of Westminster's City Plan: Strategic Policies and DES 10 including paras 10.130 to 10.146 of the Unitary Development Plan, and paragraph of our Supplementary Planning Guidance: Repairs and Alterations to Listed Buildings.

- 2 With regards to condition 7, the section drawing should show the trellising set in behind, and fixed to the garden side of the boundary wall and not fixed directly to the top of the wall.